

**ASPEN MESA ESTATES  
EAGLE COUNTY, COLORADO**

**ARCHITECTURAL  
GUIDELINES**

# Aspen Mesa Estates Design Review Requirements

## Preliminary Design Review

- An initial design review and a final design review must be scheduled prior to the start of construction. Information required for initial review include:
  - Conceptual drawings for floor plan, roof plan, elevations, landscaping and grading
  - Material list
  - Site plan

## Final Design Review

- All Fees must be paid before final project approval will be given.
- Two (2) sets of ANSI D size drawings, along with a list of materials and color palate must be submitted prior to design review. One set will be returned to the homeowner and one will be retained by the Architectural Control Committee.
- Final Site/Grading/Landscape Plans
  - Site plan including building footprint, driveway, parking, retaining walls, fences, and septic location.
  - Drainage improvements, drainage swales, and other grading features.
  - Landscape vegetation clearly depicted and labeled on plan.
- Roof Plan –  $\frac{1}{4}'' = 1'$  scale, include pitches and slope arrows
- Floor Plans –  $\frac{1}{4}'' = 1'$  scale. Including all exterior door and window locations and sizes, and location of all exterior mechanical systems, finish floor levels vs. finish grades.
- Elevations –  $\frac{1}{4}'' = 1'$  scale. Including roof heights, existing and finished grades, exterior door and window locations and sizes. Label elevations North, South, East, and West. Show a description of all exterior materials, colors, and finishes. Show utilities and other mechanical equipment that would be visible on exterior of the house.
- Samples – provide cut sheets and/or color chips for all exterior materials



# ASPEN MESA ESTATES

## DOCUMENTS

### ARCHITECTURAL CONTROL and GUIDELINES

#### ARCHITECTURAL CONTROL

**F. Architectural Control Committee.** The Board of Directors of the Association shall appoint an Architectural Control Committee to ensure conformance with the Aspen Mesa Home Owners Association standards. Any modification of property within the subdivision boundaries will fall under the purview of the committee, including control of all phases of construction and landscaping. The Architectural Control Committee shall be composed of no more than five (5) members and no less than three (3) members. Members' terms shall extend for a period of one (1) year. Enforcement of architectural control violations shall be vested in the Association Board of Directors.

**B. Architectural Control Procedures.** The Architectural Control Committee or its designee will prepare, maintain, publish, and furnish on request by parcel owners, a dated document that:

- (1) advises the parcel owner on how to proceed with the planning, design, and approval of improvements to his parcel;
- (2) outlines in adequate detail the requirements of the Aspen Mesa Home Owners Association in order to get architectural approval;
- (3) failure of the Architectural Control Committee or the Association to prepare, maintain, publish, or furnish such a document shall not operate to waive the requirement for approval of structures.

**C. Criteria for Architectural Control.** The Architectural Control Committee shall have reasonable discretion in determining whether to approve or disapprove structures. This discretion shall be exercised with at least the following objectives in mind:

- (1) To direct the positioning, elevation, profile, and surface treatment of all structures so as to minimize their obstruction or diminution of quality of the principal views from each lot.
- (2) Preserve or enhance existing features of natural beauty such as trees, shrubs, topography, and natural landscaping.

on one (1) level.

(c) Any dwelling unit shall have a garage or carport of sufficient size to enclose one (1) full-sized automobile.

(d) Tar and gravel, architectural asphalt or composite, appropriate metal fire resistant roofing approved by Architectural Control Committee.

**E. Approval of Structures.**

(1) No structure shall be placed upon or permitted to remain upon any lot, or altered in any way which will change its exterior appearance without the prior approval in writing of the Aspen Mesa Home Owners or its designee, and the payment of applicable fees as outlined in the fee schedule posted on the Aspen Mesa Estates web site.

(2) The Architectural Control Committee may impose reasonable requirements with respect to information to be furnished and the form and manner of presenting the same in order to obtain approval for any structure, including, but not limited to, all landscaping for all primary structures. Two (2) sets of complete plans and specifications shall be submitted to the Architectural Control Committee, which plans and renderings of all sides of the structure shall be drawn to a minimum scale of one-quarter (1/4) inch equals one (1) foot, excepting site renderings which shall be drawn to appropriate scale to show location of all existing and proposed structures on the lot, all parcel lines, all existing and proposed contours and contour elevations; shall indicate materials and colors to be used; shall be accompanied by samples of materials and colors to be used upon request; shall be submitted in duplicate together with a fee of Two Hundred and Fifty Dollars (\$250.00) to be paid to the Architectural Control Committee to compensate it for the time and effort required for review prior to approval. The Architectural Control Committee will approve and initial all plans including any changes made by it and retain one (1) set. Actual construction shall conform to the plans.

(3) At least one (1) member of the Architectural Control Committee will physically visit the building site with any primary structure plans submitted for approval prior to approving or rejecting the request in order to assure a thorough and accurate review of the proposed improvements.

**F. Approval or Disapproval.** Any structure shall be deemed and considered disapproved unless approval is expressly given and is evidenced in writing executed by the Architectural Control Committee. Notwithstanding the foregoing, if the Architectural Control Committee fails to approve a structure and does not expressly indicate disapproval or affirmatively impose additional requirements or requests additional information be furnished in writing, within thirty (30) days after a written request for written approval, the structure shall be deemed approved. All written requests and written approvals or disapprovals shall be made either in person or through certified mail. Regardless of whether or not the Architectural Control Committee provides written approval for a structure, all fees must be paid before a structure shall be considered approved.

## **ARCHITECTURE**

### **Structure**

All primary structures, as defined in the Architecture Control Definitions, must be stick built, or equivalent (e.g. Structural Insulated Panels), on site. Modular and factory build homes are not permissible.

### **Roof Forms**

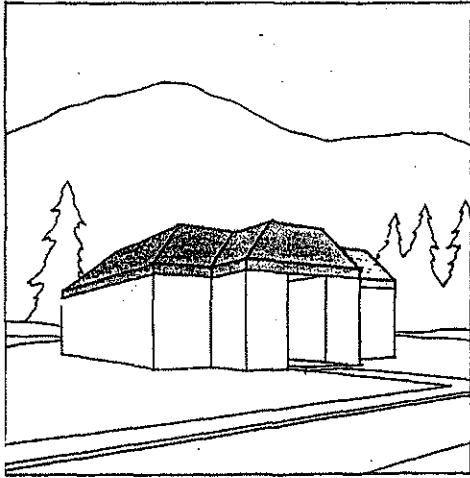
Roofs are a major factor in building design. The design of a roof and the materials used can provide a distinct character image for the building. The roof design should be consistent with the buildings size, shape and form and be compatible with the environment and surrounding buildings. Roofs should be used to provide an appropriate scale to the neighborhood. Some of the roof eaves should begin at a one-story level to retain a residential quality.

### **Some of the residential roof shapes that are encouraged include:**

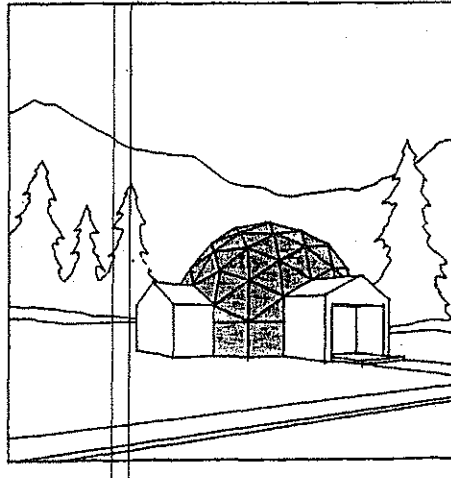
Full hip roof

Gable roof

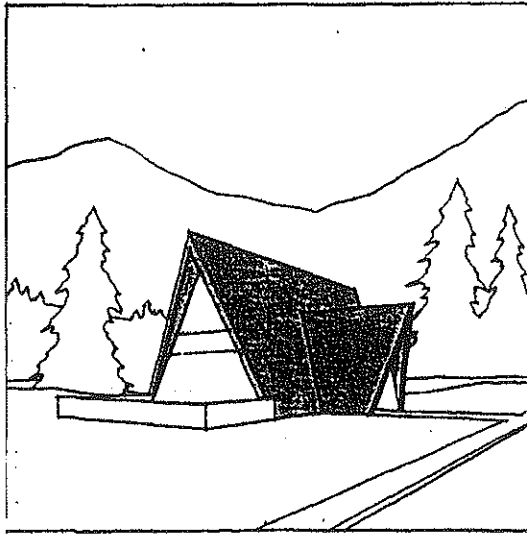
Joined shed roof



Mansard



Domed



A-Frame

### Materials

Roof materials that are thoughtfully chosen will enhance and support the character of the home. They will contribute to the cohesiveness of the neighborhood.

### Encouraged roof materials:

Copper

Zinc

Asphalt composition shingles (high definition profile only)

Metal roofs

Gravel topped flat roofs

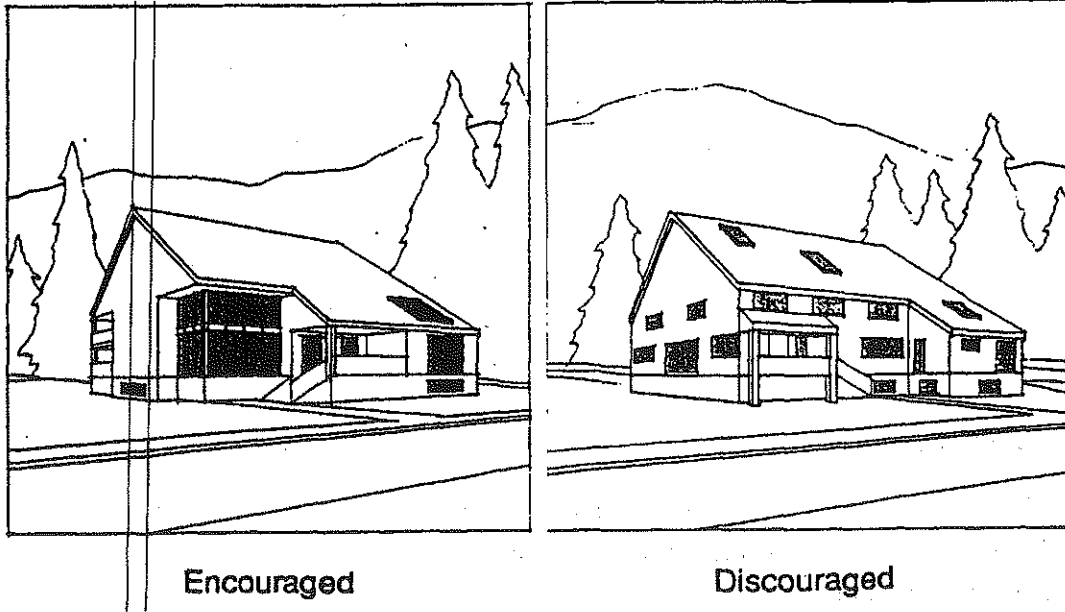
### Color Palette

Muted, indigenous and subdued colors should be chosen that harmonize with the existing

### **Snow and water shedding**

Door openings should be protected from wind, drifting snow and from overhanging roofs that permit direct rain and snow runoff.

Attention should be given to drainage areas where water from roof snow melt may freeze on walkways or stairs and cause hazardous conditions. Window and door casings may be natural, stained, painted wood or painted metal. Un-anodized aluminum is discouraged.



## **ARCHITECTURE**

### **Fireplaces, chimneys and flues**

Design Chimneys are a strong visual element to the exterior of the building. This vertical element must be considered in the overall design of the building.

### **Materials**

**Acceptable** exterior chimney materials include:

Natural stone

Stucco Wood enclosures with approved siding (see exterior wall section)

**Unacceptable** exterior chimney materials include:

Exposed concrete block

Exposed metal chimneys

ATTACHMENT "A"

ARCHITECTURAL CONTROL GUIDELINES, ADDENDUM

HORSES

PLEASE KEEP IN MIND THAT THE FOLLOWING GUIDELINES APPLY ONLY TO LOTS WHICH HAVE GONE THROUGH THE APPROVAL PROCESS OUTLINED IN ASPEN MESA ESTATES RESTRICTIONS AND COVENANTS AND ARE READY FOR STEP TWO, ARCHITECTURAL APPROVAL.

1. UP TO 75% OF EACH LOT MAY BE FENCED.
2. FENCES MUST BE AT LEAST 15 FEET FROM THE PROPERTY LINE. ✓
3. THE FENCED IN AREA MAY NOT ENCOMPASS A WOODED (PINION/CEDAR) AREA. "WOODED AREA" IS OPEN TO INTERPERTATION, ie, 3 OR 4 TREES DOES NOT MAKE A WOODED AREA.
4. WITH THE EXCEPTION OF THE GATE, THE FENCE MUST BE WOOD. A SINGLE STRAND OF ELECTRIC FENCING WILL BE ALLOWED DIRECTLY ABOVE THE TOP RAIL TO PRESERVE THE FENCE.
5. INRE #4, THIS IS NOT A HARD AND FAST RULE. WE UNDERSTAND THAT NEW PRODUCTS ARE AVAILABLE AND THE BOARD IS OPEN TO LOOKING AT THESE NEW PRODUCTS ON A CASE BY CASE BASIS.
6. TO RETAIN THE CHARACTER OF THE SUBDIVISION, AT THIS TIME, WE WILL ONLY APPROVE A SPLIT RAIL TYPE OF FENCE.
7. THE FENCE MAY NOT BE HIGHER THAN 5 FEET HIGH. THIS FENCE IS TO KEEP THE HORSES IN, NOT THE DEER OUT. \*
8. STRUCTURES (BARNS, STABLES, ETC.) MUST BE 20 FEET FROM THE PROPERTY LINE.
9. STRUCTURES MUST MATCH THE PRIMARY HOME, INCLUDING SIDING MATERIAL, ROOF MATERIAL AND COLORS.

PRIVACY/DEER FENCING

1. EACH HOMEOWNER MAY FENCE OFF UP TO 25% OF THEIR LOT FOR THE PURPOSE OF PROTECTION OF LANDSCAPE FROM DEER. GENERALLY THIS ENTAILS A SEVEN FOOT HIGH FENCE.
2. THE SAME CONSTRUCTION GUIDELINES APPLY FOR DEER FENCING AS FOR HORSE FENCING.
3. PRIVACY FENCING WILL BE HANDLED ON A CASE BY CASE BASIS.

PLEASE KEEP IN MIND THAT THESE ARE GUIDELINES. EACH INDIVIDUAL APPLICATION WILL BE JUDGED ON IT'S OWN MERITS. IF THE PROPOSED PADDOCK AREA DOES NOT IMPACT VISUALLY ANY NEIGHBORS OR COMMON AREAS, THE BOARD WILL REMAIN FLEXIBLE IN CONSTRUCTION MATERIALS.